

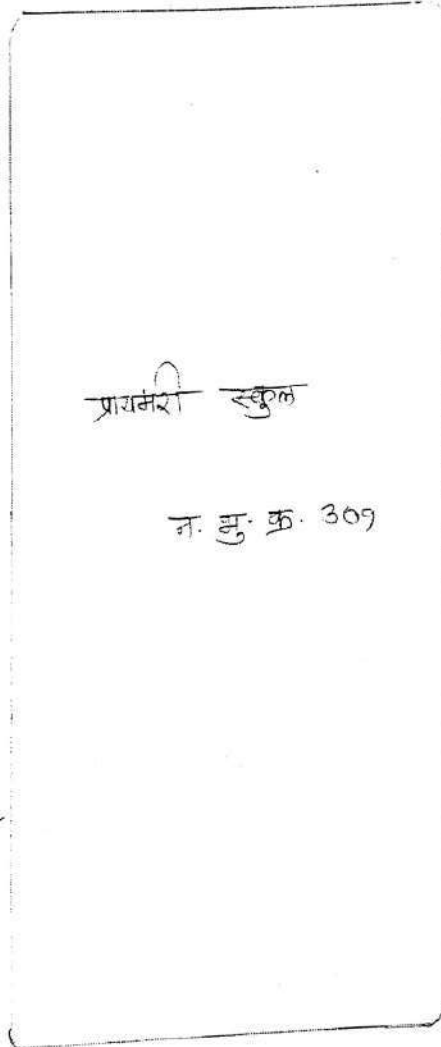
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मुम्ताजुल हारिशाही, ता. कुर्ला येथील
मिळविलेला जागेच्या कुवांके १९ वर्सुत तयार
रली.



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नकल सही

1. अर्जासंबंधित

अर्ज वेळी जाण्या
करे.

2. अर्जा

3. अर्जा

4. अर्जा

5. अर्जा

अर्ज क्रमांक ३८९, अर्ज आल्याची तारीख १५/११/१७
नकलसंबंधी शुल्क ५०/००, नकल तयार तारीख २५/११/१७
नकलसंबंधी विक्रीचा १०००/००, विक्रीचा दिनांक १५/११/१७
तयारपणी शुल्क १०००/००, तयारपणी तारीख १५/११/१७
कागद शुल्क १०/००, कागद शुल्क तारीख १५/११/१७
एकूण शुल्क ६००/००, एकाच वेळी १५/११/१७



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(Certificate / Reports)

तालुका/न.भु.मा.का. -- न.भ.अ.घाटकोट

Structural stability certificate



EPICONS CONSULTANTS PVT. LTD
evolution planning investigation concrete & steel

Date: 19 August 2019
Job No: 8649


TO WHOM SO EVER IT MAY CONCERN

Proposal: Proposed BMC School Plot No. 301, Hariyali Village 'S' Ward, Tagore Nagar, Opp. Gurudwara, Vikhroli (E), Mumbai

Architects: Master And Associates

Based on the Completion Certificate of Site Supervisor, test reports and periodic site inspection carried out by me through my staff from time to time. I hereby certify that Structural Work of the above Building has been carried out as per my structural designs and details and to the best of my knowledge the said structure is safe & stable under the loads from Ground + 5 Upper Floors.

For, Epicons Consultants Pvt. Ltd


R. D. Deshpande
DIRECTOR

(Reg. No: STR/ D-64 of 2018-21)



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Approval by C-137

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MUNICIPAL CORPORATION OF GREATER MUMBAI

No. CHE/891/BP(Spl Cell)/AS/337dt.

Subject: Proposed construction of Municipal School on plot bearing CTS No. 301 of Hariyali-village, Vikroli East, in 'S' ward.**Reference:** i) Dy.C.E./SIC/ 8611 /Dy.M.A./ dtd. 18/09/2017.
ii) Dy.C.E./SIC/ 9599 /Dy.M.A./ dtd. 04/10/2017**Architect:** Dy. Municipal Architect (S.I.C.)**Consultants:** M/s Masters & Associates**Plans for ref:** At Pg. C- 81 to 101.

Consulting Architect M/s. Masters & Associates through Dy. Municipal Architect (SIC) has submitted the plans for the proposed school building on land under subject matter and has requested to grant the approval for the same.

PREAMBLE :

The proposal is for construction of Municipal School building which is comprising of Ground + 6 upper floors. The proposal is scrutinized as per the provisions of DCR-1991 as well as RDDP -2034 and the stringent of the same is considered for the proposed development. As per the documents submitted by Dy.M.A (SIC)/ Consulting Architect, it is observed that as per the RDDP-2034 the part area is proposed on the plot reserved for (RE-1.1) i.e. Municipal School by considering 40 % playground on abutting plot which is reserved for the Play Ground (ROS1.4). It was also informed that in one of the meetings, A.M.C. (City) directed the S/C staff to consider the abutting P.G. plot as playground for the proposed school due to requirement of municipal school / classes/mediums etc in locality.

1. SALIENT FEATURES OF THE PROPOSAL:

1)	Name of the Proposal	Proposed construction of Municipal School on plot bearing CTS No. 301 of Hariyali-village, Vikroli East, in 'S' ward.
2)	C.T.S No.	C.T.S. No. 301 of village Hariyali.
3)	Name of Owner/ Holder & User dept.	MHADA.
4)	Area of the Plot	As certified by M.A. on plan/stringent area as per CTS plan)= 3442.72 sq.mt as against area as per possession of 3652.42 mt.
5)	Reservations	As per SRDP-1991, the land under proposed development is affected by the reservation of Municipal Primary School and as per RDDP-2034 (May-2016), it is reserved as RE-1.1 i.e. Municipal School and part area is reserved for the Play Ground (ROS1.4)
6)	Zone	Residential Zone (R)



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2. INSTRUCTION OF HON'BLE M.C. IN MEETING DTD. 21.08.2017:

Dy.M.A.(SIC) has submitted copy of Minutes of meeting which was held under the chairmanship of Hon'ble M.C. on 21/08/2017 (Copy at Pg.N-3), wherein Hon'ble M.C. has directed Dy. Commissioners of user depts. to ensure that the tenders for reservations to be developed be processed expeditiously in such a way that work orders are issued before 1st of Oct 2017 and the works are started in the 1st week of Oct 2017.

Accordingly, Dy.M.A.(SIC) through consultant M/s. Masters & Associates has submitted plans for the proposed Municipal School building on land under subject matter on 18/09/2017 & corrected plans on 4/10/2017 and requested to grant approval for the same.

The technical details of the proposal are as follows:

3. OWNERSHIP AND AREA OF PLOT:

Dy M.A(SIC) has submitted copy of P.R. Card for plot u/r. at pg. C-41, wherein the name of original holder reflected is Maharashtra Grihnirman Mandal, Mumbai, not submitted copy of possession receipt, however submitted the letter from A.E (Maint)'S' ward vide No ACS/23935/AEMS dt 07/10/2017 (Copy at Pg. C-77), wherein it is mentioned that, though the possession receipt for the same is not available after the diligent search made by A.E (Maint) 'S' ward, as per available record in 'S' ward the plot u/r is in possession of MCGM. As per the policy circular dtd. 09.06.2016, P.R Card in the name of owner and area of plot in words and figures is necessary to confirm the ownership and plot area for FSI computation. Considering the urgency of the matter, M.A/ user dept. shall obtain the separate P.R card reflecting therein the name of MCGM and area of plot in words and figures therein before granting completion certificate.

The details of the plot area as per various documents submitted by Dy.M.A(S.I.C) /Consulting Architect are tabulated as follows:

Sr. No	Details of plot	Area in Sq.mt
1	As per P.R card	3630.00 sq.mt
2	Plot area as per survey by Arch plan at Pg.C-9.	3652.42 sq.mt (Municipal Primary School)
3	Stringent area as per CTS boundary & Physical boundary	3442.72 Sqmt for entire plot. 2024.69 sq.mt (Municipal Primary School) 1418.03 sq.mt (Play Ground)

In this case, Dy M.A (SIC)/ Arch has adopted the stringent area as per CTS boundary considering the reservation as per SRDP -1991 i.e entire plot is MAP having area as 3442.72 Sqmt. However as per RDDP-2034 the plot u/r is subdivided in two parts i.e part areas reserved as RE-1.1 i.e. Municipal School and part area is reserved for the Play Ground (ROS1.4). Arch has submitted



per triangulation method as 2024.69sq.mt (Municipal Primary School) & 1418.03 sq.mt (Play Ground)

In view of above, Ch.E(D.P)/Hon'ble M.C's approval is requested to allow the development of land for proposed municipal school without insisting separate P.R Card in the name of MCGM at this stage and to adopt area of plot adm.2024.69 sq.mt. for the proposed development subject to the condition that separate P.R. card in the name of MCGM shall be obtained before completion certificate by M.A.

4. D.P. REMARKS, SURVEY REMARKS & ACCESS:
SRDP-1991:-

As per D.P remarks issued u/no. CHE/Nii/DPES/S dt.Nil at Pg.C-1/3, the plot bearing CTS No. 301 of Hariyali-village, Vikrolli East, in 'S' ward is reserved for the public purpose of Municipal Primary School. The plot is situated in Residential Zone 'R' and is affected /abutting to 18.30 Mt. D.P road at North side & two 12.00 mt D.P road on East, South side and 12.00 mt wide existing road on west side respectively.

R.D.D.P.-2034 :

Dy.MA(SIC) has submitted remarks as per revised draft D.P (2034) published on 27.05.2016, at Pg. C-1/3 the plot under proposed development is reserved as 'RE1.1' i.e. Municipal School and it is abutting ROS 1.4 Play Ground. The plot u/ref is situated in Residential Zone 'R' and is affected by 18.30 Mt. D.P road at North side & two 12.00 mt D.P road on East, south side and 12.00 mt wide existing road is on west side respectively.

ACCESS:

The plot u/ref is deriving access through 12.00 mt wide existing DP road on South side as well as 12.00mt existing road on west side.

5. PLANNING OF THE PROPOSED CONSTRUCTION:

Dy.M.A(S.I.C) has proposed a school building comprising of Ground + 6 upper floors. The details of proposed planning is explained as under:

1)	Ground Floor Ht : 3.9mt.	Multi-purpose room, Principal Room, Milk distribution room, Mid-day Meal room, Multi-purpose Hall, Caretaker room, meter room, Green room for Boys & Girls, Store room, spill out area, Staff Toilets, Toilet blocks for Boys & Girls, toilet for Handicapped persons. and 14 no. of parking spaces in surrounding open spaces.
2)	1 st floor Ht : 3.9mt	8 Nos of Class rooms, Staff room, Seminar Room, assembly area, Exhibit Space, Pocket terrace, Staff Toilets, Toilet blocks for Boys & Girls, toilet for Handicapped persons.
3)	3 rd floor & 5 th floor Ht : 3.9mt	8 Nos of Class rooms, Staff room, Seminar Room, Exhibit Space, Staff Toilets, Toilet blocks for Boys & Girls, toilet for Handicapped persons.



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4)	2 nd , 4 th Ht : 3.9mt	8 Nos of Class rooms, Staff room, Seminar Room, Staff Toilets, Toilet blocks for Boys & Girls toilet for Handicapped persons.
5)	6 th floor Ht : 3.9mt	Physical Education rooms, Library, Computer Room, Seminar Room, Science Lab, Virtual class room, Art & Craft room, Staff Toilets, Toilet blocks for Boys & Girls, toilet for Handicapped persons

- a. Dy.MA(SIC) has submitted the NOC from CFO vide No.FB/HR/RVT/119 dt 29/09/2017 at Pg. C-43 to C-49 & Plans at Pg. C-51 to C-71 for the proposed development. Therefore, Dy M.A (SIC) to ensure the compliances for requisitions / conditions mentioned in CFO NOC, if any as stated therein at appropriate stages of work.
- b. Dy M.A.(SIC)/Consulting Architect has made the provision for gathering /Exhibit spaces on 1st, 3rd & 5th floors on East side & West side for boys & girls, with floor height more than 4.20 mt. hence as per Reg. 38, Table No. 19 (ii) same is counted 1.5 times in FSI
- c. Dy.M.A.(SIC)/Consulting Architect has made the provision for necessary sanitary arrangements for boys & girls on all the floors as per occupant load calculations as per Reg.37 of D.C. Reg.1991 and the requirement for physically handicapped person as per DC Reg.41 also seen provided.
- d. Two nos. of enclosed type staircases of 2.00 mt. width leading from ground to top floor and 2 no. of lifts of size 2.1 x 2.10 mt leading from ground to top floor and the areas of the same are claimed free from FSI computation.
- e. Electric and fire fighting ducts having 1.20 mt width are proposed and the areas of which are not counted in FSI calculations.
- f. Meter room is proposed on ground floor of the building, the area of which is computed in FSI computation.
- g. One pocket terrace is proposed on 1st floor at ht of 4.5 mt and same is counted in FSI.
- h. Atrium is proposed on first floor which is enclosed at terrace level with height 28.20 mt. and, same is counted 1.5 times in FSI.

6. PARKING SPACES:

As per reg. No. 36, table no. 15 (2), one parking space for 35.00 Sq.M carpet area of the administrative office and public service area and 10% additional parking spaces, subject to minimum of 2 spaces shall be provided.

In the instant case, the number of parking spaces required worked out to 14 Nos. & Consulting Architect has proposed adequate 14 no. of parking spaces in the surrounding open space.

The proposal needs consideration of Ch.Eng.(D.P.I)/ Hon'ble M.C. for the following points/relaxations:

7. PROVISION OF 40% OF PLOT AREA AS PLAY GROUND:

Consulting Architect M/s. Masters & Associates/ Dy M.A (SIC) has submitted the D.P Remarks as per SRDP -1991 and as per RDEEP -2034. As per copy of D.P Remarks as per SRDP -1991 at Pg. C-1 to C-3, land bearing CTS No. 361 of Haryyah village is reserved for Municipal Primary School and as per RDEEP



4313/C.R.187/2013/UD-11 dt 24/2/2014, it is mandatory to provide 40% of vacant area of plot (open space) at one place as playground while developing the vacant area of plot (open space) at one place shall be plot for educational purpose.

It also directs that in no case such area of 40% P.G. at one place shall be decreased even while allowing the development of plot with utilization of additional FSI for educational purpose. If at all, it is necessary to redevelop/develop the land for educational purpose and it is not feasible to construct additional floors over existing building for any reason, in such exceptional circumstances, the area of 40% P.G. in plot may be allowed to be reduced but with prior approval of Govt. of Maharashtra.

In the instant proposal, as per transitional period policy circulated u/no. CHE/DP/7024/Gen dtd. 30.05.2016 to be read with CHE/DP/34194/Gen dtd. 10.03.2015, the reservation of play ground proposed in RDDP-2034 becomes stringent one being non-buildable reservation. Dy.M.A.(SIC) through Consulting Architect M/s. masters & Associates has submitted the plans considering stringent reservation as per transitional policy by treating/considering the abutting plot which is reserved for P.G. in RDDP-2034 as 40% P.G. for the development of plot reserved for Municipal school. If reservation of MAP as per SRDP is considered the Govt. directives dtd. 24.02.2014 can be fulfilled. However, play ground as per RDDP-2034 being stringent the direction of Govt. are not satisfied.

Dy M.A (SIC)/Consulting Architect / has submitted P.R card for C.T.S No 301 of village - Hariyalli, at Pg C-41, which is in the name of MHADA. Therefore, Dy.M.A(SIC) was requested to submit the possession receipt/ acquisition proceedings if any, for handing over of plots to MCGM, which is reserved for Municipal School and Play Ground. Thereafter, Dy M.A (SIC) vide letter dt 7/10/2017 at Pg. C-75 submitted remarks from Asst Engr (Maint) 'S' ward vide letter dt 7/10/2017 at Pg C-77 mentioning that, the plot u/r is in possession of MCGM. However the possession receipt of the same is not found after diligent search in their office. Therefore, it is mentioned here that, in case same is already handed over to MCGM, it can be sold that Playground is in possession to MCGM. However, the user department i.e. Dy.MA(SIC) /Dy.E.O. shall ensure that the ownership for entire plot is transferred in the name of MCGM in PRC before completion of building.

It is also stated by Dy.MA(SIC) that since there is existing compound wall on all side of the school plot u/r. and P.G. is also within the said school plot, it is requested to consider the same P.G. as 40% for the present development of school.

It is pertinent to state that in one of the Municipal school proposals at Malad (E), as the provision of 40% open space as P.G. was not made in the plot of MAP, the proposal has been submitted to Urban Development Department, although the adjacent/abutting plot is reserved for P.G. and is in possession of MCGM.

In the same case, ex-local councillor and present councillor Mr. Gyammurti Sharma & Smt. Sangeeta Sharma as well as Hon'ble MP, Shri. Gopal Shetty vide



their letters addressed to State Minister, U.D Dept. have pointed out that at places where P.G. abuts the school, it is contradictory to insist 40% P.G. on school plots. Both the public representatives have requested to relax the condition of providing 40% P.G. on said plot and requested to allow the development at earliest. (copy of letter to UDD is at pg. C-197)

In order to promote the development of municipal schools, Dy. Chief Engineer (DP)-I vide letter u/no. CHE/33191/DP/City did. 29.10.2015 has requested U.D dept. to relax the condition of providing 40% PG at one place in case of construction of new MCGM educational institutes on vacant plot where there are difficulties in providing 40% P.G. due to various constraints. However, the clarification from U.D dept. is still awaited.

Recently, Dy.M.A.(SIC) and Ex.E.(SIC) informed this office staff that in one of the meetings, A.M.C.(City) directed to approve the plans of proposed school building on priority by considering the abutting playground as 40% P.G. for school. In this case, the area abutting plot reserved for P.G. is more than required 40% P.G. area i.e. 1418.03 sq.mt. against 1377.08 sq.mt.

In view of directives u/s. 154 of MRTP Act u/no. TPB-4313/ C.R.187/2013/UD-11 dt 24/2/2014 and the facts/circumstances explained above, Ch.E.(D.P.)/ Hon.ble M.C's orders are requested to allow the abutting land reserved for P.G. adm. 1418.03 mt. as 40% P.G. for the proposed development of school building on C.T.S No 301 of village - Hariyalli, in 'S' ward considering it is a one plot, subject to submission of ownership documents in the name of MCGM.

S. TO CONDONE THE DEFICIENCY OF OPEN SPACES :

As per reg. 29(6) of DCR - 1991, open spaces of 6.00 mt. are required to be provided on all the sides of building for education purpose. The details of open spaces required, proposed and the deficiency therein is as tabulated below:-

OPEN SPACES REQD

Ht of Bldg. = 28.20 mt.

As per Reg. 29(6) a = 6.00 mtr.

For Internal Layout Road = 3.00 mt

Side	O.S. required in mtr.	O.S. Proposed in mtr.	Def. in mt.	% Deficiency	Remarks
North	6.00	Nil	6.00	100%	Touching to abutting PG reservation as RDDP. 2034.
East	6.00 4.50	6.01 More than 4.50 mt.	Nil Nil	Nil Nil	As per Reg. 29(6) 12.00 mt D.P Road
West	6.00 3.00	7.80 min. More than 3.00 mt	Nil	Nil	As per Reg. 29(6) 12.00 mt Internal Layout existing Road
South	6.00 4.50	6.00 min More than 4.50 mt.	Nil Nil	Nil Nil	As per Reg. 29(6) 12.00 mt D.P Road



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From the above table, it is seen that there is deficiency in open spaces up to 100%. It may be stated that the stringent open spaces are only considered for condensation of deficiency in open spaces. The deficiency in open spaces so created is only on North side. Dy.M.A.(SIC) has proposed min 6.0 mt open space on all sides except on North side which is proposed as touching to the abutting PG.

It is proposed to condone the open space deficiency without abating premium being a Municipal school proposal.

a. Hardship

The deficiency in open spaces is mainly created due to utilization of 100% additional FSI as per reg. 33 (2) of DCR - 1991 alongwith 200% over and above the additional FSI permitted as specified in Table No.14 DCR-1991. Otherwise minimum open space of 6.00 mt is provided on all sides except on North side which is proposed as touching to the abutting PG.

b. Health Safety

As regards the health safety, the successful contractor will take care of carrying out the drainage work as per the bye-law 4-C and requirements /specification of tender. The internal house drainage will be connected to the municipal sewer of existing road, which is being maintained by MCGM. The surrounding open spaces of the building will also be paved. The Contractor will also be insisted upon to carry out the work of SWD for proper disposal of surface rainwater as per the remarks of SWD department. Thus, the health safety of the occupants of the building as well as the neighborhood would be ensured.

c. Structural Safety:

Dy.M.A.(SIC)/Dy.Ch.Eng. (SIC) shall get the structural design and drawings prepared from structural stability and safety point of view as per prevailing I.S. Codes by considering seismic forces and taking into account other relevant I.S. Codes. Execution department will insist the structural stability certificate from the consultant/ structural engineer before start of construction, as per the present policy.

d. Fire Safety:

Dy.M.A.(SIC)/Consulting has submitted the NOC from CFO for the proposed development. As such, Dy.M.A.(SIC) will be requested to comply the conditions mentioned in NOC before commencement of work and to comply with the requisitions as stated therein at appropriate stages of work.

e. Public Safety:

As structure and fire safety will be ensured, the aspect of public safety will be taken care off.

f. Neighborhood Safety:

The plot u/r is abutting 12.00 mt wide DP road on South & East side, 2.00 mt on North side and on West side, minimum open space of 0.00 mt is provided from neighbourhood safety point of view except on North side which is proposed as



touching to the abutting PG. As such, the aspect of neighbourhood will be taken care off.

In view of above, Ch.Eng.(D.P)/Hon'ble M.C's approval is requested to condone the deficiency in open spaces as tabulated overleaf to the maximum extent of 100 % without charging premium being Municipal School, as per reg. 64(b) of DCR -1991, as per NOC from CFO.

9. TO ALLOW ADDITIONAL FSI FOR EDUCATIONAL BUILDINGS AS PER REG NO 33(2) OF DCR-1991:

Dy.M.A(SIC) has submitted the plans for proposed Municipal school building comprising of Gr. + 6 upper floors with utilization of zonal FSI of 1.00 and additional FSI as per reg. 33(2) of DCR-1991.

The proposed development is located in Eastern Suburbs and hence the permissible floor space index for Residential/Commercial zone in suburb and extended suburbs is 1.00 as per Reg. 32, Table 14(1)(B)(iii) of DCR 1991.

As per provisions of Reg. 33(2) of DCR-1991, the Commissioner may permit the FSI specified in Table No.14 to be exceeded by 100% in respect of buildings in independent plots of educational and medical institutions and institutional buildings of Government or public authorities in the wards of the island city. suburbs and extended suburbs.

Provided further that, with the previous approval of Govt., the FSI in Table No. 14 for buildings of educational institutions on independent plots may be permitted to be further exceeded by a maximum of 200 % over and above the additional FSI permitted as aforesaid.

Reference is requested to the directives u/s. 154 of M.R.& T.P. Act issued by Govt. of Maharashtra u/no. TPS-1815/2647/CR-13/15/UD-13 dtd. 14/03/2016. As per the said directives, Govt. of Maharashtra has delegated powers to Municipal Commissioner of all Municipal Corporations to grant the additional FSI in respect of medical institutions, educational buildings etc. and to adopt the procedure & rates of premium given in Schedule-A for levy & sharing of premium amount for grant of additional FSI between Govt & respective authority. As such, Hon'ble M.C. is empowered to grant FSI upto maximum extent of 4.00 on net plot area as per said Govt. directives. The proposal u/r. is for construction of school building for MCGM hence the condition of payment of premium for add. FSI shall be waived off.

In view of Govt. directives dtd. 14/03/2016, Ch.E (D.P)/Hon'ble M.C's approval is requested to grant additional FSI to the extent of 300% over & above the FSI permitted as specified in Table No.14 DCR-1991, without charging premium being a M.C.G.M proposal.

10. TO ALLOW EXEMPTION OF STAIRCASE FROM FSI COMPUTATIONS:

As stated in the planning para, Consulting Architect has proposed 2 no. of enclosed type staircases of 2.0 mt. width leading from ground to top floor and 2 no. of lifts of size 2.10 x 2.10 mt from ground to top floor and has claimed these area free from FSI computations.

As per reg. no. 35(2)(iii) of D.C.R.-1991, the areas covered by staircase rooms, lift rooms above topmost storey, staircase/lift wells and passages in



basement and floors exclusively used for parking and other ancillary uses are permitted free of FSI. The same will be allowed at the zonal level by Ex.Eng(B.P.) Spl.Cell.

As per reg. no 35(2)(iv), areas covered by staircases/ lift wells including lobbies as specified, excluding those covered under reg. no.35 (2)(iii) shall not be counted in FSI with special permission of the Commissioner subject to payment of premium.

In view of above, Ch.Eng.(D.P)/Hon'ble M.C.'s approval is requested to allow area of all the above staircases, lifts and its lobby areas on all habitable floors i.e. Gr. + 6 floors free from FSI computation as per reg. 35 (2) (iv) of DCR. 1991 without charging premium being a MCGM school building.

11. TO ALLOW LARGER SIZE CANOPY WITH WIDTH MORE THAN 5.50 MT. FREE OF FSI.

Consultant has proposed a Canopy with a width of more than 5.50 mt at first floor LEVEL and has claimed the same free from computation of FSI. Considering a public building, consultant has proposed a canopy more than that permissible as per reg. 30(iii)(b).

As per provisions of reg. 30(iii)(b), a cantilever unenclosed canopy over common entrance and each common staircase and not more than 5.50 mt long and at least 2.20 mt above ground level with a level difference of 0.3 mt. in relation to the floor level is permitted in prescribed open spaces. The Hon'ble M.C may permit the canopies of larger size in public, multi-storey or high-rise or special buildings.

As the building u/ref. is a educational building, the larger canopy in length i.e. 17.40 mt Approx (Semi Circle shape) as compared to its varying width from 0.0 mt to 5.85 mt at 4.20 mt. height at entrance of building width from 0.0 mt to 5.85 mt at 4.20 mt. height at entrance of building may be permitted.

In view of the above, Ch.Eng.(DP)/Hon'ble M.C.'s approval is requested to allow larger length of canopy i.e. 17.40 mt. i.e. (with varying width of up to 5.85 mt. at 4.20 mt. height) that permitted in reg. 30(iii)(b) for MCGM school building free of FSI as per reg. 35(2)(ii) of DCR-1991 without charging premium.

In view of the above, if the orders of Hon'ble M.C on portion sidelined 'X' at Pg. N-2 are affirmative, then Ch.E.(D.P.)/Hon'ble M.C.'s approval is requested for the following points:-

- 1) To allow the development of land for proposed municipal school without insisting separate P.R Card in the name of MCGM at this stage and to adopt area of plot adin.2024.69 sq.mt. for the proposed development subject to the condition that separate C.T.S plan and P.R card in the name of MCGM shall be obtained before grant of occupation permission by M.A., as explained in sr.no.3 of the report.
- 2) To allow the abutting land reserved for P.G. adm. 1418.03 mt. as 40% P.G. for the proposed development of school building on C.T.S No 301 of village - Hariyalli, in 'S' ward considering it is a one plot, subject to submission of ownership documents in the name of MCGM. as explained in sr.no.7 of the report.



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N/14

- 3) To condone the deficiency in open spaces as tabulated overleaf to the maximum extent of 100 % without charging premium being Municipal School, as per reg. 64(b) of DCR -1991, as per NOC from CFO as explained in sr.no.8 of the report.
- 4) To grant additional FSI to the extent of 300% over & above the FSI permitted as specified in Table No.14 DCR-1991, without charging premium being a M.C.G.M proposal., as explained in sr.no.9 of the report.
- 5) To allow area of all the above staircases, lifts and its lobby areas on all habitable floors i.e. Gr. + 6 floors free from FSI computation as per reg. 35 (2) (iv) of DCR- 1991 without charging premium being a MCGM school building, as explained in sr.no.10 of the report.
- 6) To allow larger length of canopy i.e. 17.40 mt. i.e. (with varying width of up to 5.85 mt. at 4.20 mt. height) that permitted in reg. 30(iii)(b) for MCGM school building free of FSI as per reg. 35(2)(ii) of DCR-1991 without charging premium, as explained in sr.no.11 of the report.

Submitted please.

CH E / 185 / DPBP sp cell
02/11/17

Signature
N.J. Lachake
Dy.Ch.E (B.P) Spl. Cell

(S. P. Darade)
Ch.Eng. (D.P)
(Ajoy Mehta)
Hon'ble M.C
Sir,

Non nco approved is requested
for sr no. 1 to 6, N.13.14 please
Submitted please

No forwarded
Signature

सूचनाई महानगर पालिका प्रमुख अभियंता (विकास नियोजन) याचे कार्यालय		३	४	५	६
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DPBP sp cell

सूचनाई महानगर पालिका,
प्रमुख अभियंता (विकास नियोजन)
(विशेष अर्थ) यांचे कार्यालय

15 NOV 2017
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उप म. अभि. (प.प.) विशेष कल

Dy. Ch.E (B.P)
Spl-Cell



Ex-Eng./Asst. Eng. (City/WS/ES) U
A.O.H.C. (Rev) H.C. (Est.)

For up to be with
kindness to approval.

Dy. Ch. E. (BP) Spl. Cell

11/11/17
18/11/17

चॉनो (चॉरंज) C-157

MUNICIPAL CORPORATION OF GREATER MUMBAI

MUMBAI FIRE BRIGADE

FB/HR/RVI/119
29/09/2017

Sub: N.O.C. stipulating fire safety and firefighting requirements for the proposed construction of High-rise Municipal school building on Plot CTS No.-301 at Hariylai Village at Vikhroli (East), 'S' Ward.

Ref: 1) Letter from Dy. M.A. S.I.C. Dated- 16.09.2017.
2) MFB No. HR/RVI/119 dated 18/9/17.

EE BP (Sp. Cell):

This is a proposal for the construction of proposed High-rise Municipal School building comprising of Ground floor + 1st to 6th upper floors with total height of 28.20 meters from general ground level up to terrace level.

Floors	Floor wise uses
Ground Floor	02 nos of Entrance Lobby, 01 no. of Entrance Foyer, 01 no of Milk Distribution room, 01 no of Balwadi, 01 no of Principal's/Building in-charges Room, 01 no of Mid-Day Meal Room, 01 no of Boys Green Room, 01 no of Girls Green Room, 01 no of Caretaker room with 01 no of Kitchen platform, 01 no of Toilet & 01 no. of Bath Room, 01 no of Girls Toilet, 01 no of Handicap Toilet, 02 no of Staff Toilet, 01 no of Boys Toilet, 02 no of Drinking water troughs, 01 no of Electric Meter Room, 01 no of Store Room, 01 no of Multi-Purpose Hall & 2 no. of spill-out areas.
1 st Floor	01 no of Staff Room, 08 nos of Classrooms, 01 no of Seminar Room, 01 no of Girls Toilet, 01 no of Gents Staff Toilet, 01 no of Ladies Staff Toilet, 01 no of Boys Toilet, 01 no. of Handicap Toilet, 02 no of Drinking water troughs, 01 no of Assembly Area, 02 no. of Exhibit/Gallery Space, 01 no. of open to sky Terrace/Nursery Area.
2 nd floor	01 no of Staff Room, 08 nos of Classrooms, 01 no of Seminar Room, 01 no of Girls Toilet, 01 no of Gents Staff Toilet, 01 no of Ladies Staff Toilet, 01 no. of Boys Toilet, 01 no. of Handicap Toilet, 02 no of Drinking water troughs, 01 of Atrium.
3 rd floor	01 no of Staff Room, 08 nos of Classrooms, 01 no of Seminar Room, 01 no of Girls Toilet, 01 no of Gents Staff Toilet, 01 no of Ladies Staff Toilet, 01 no of Boys Toilet, 01 no of Handicap Toilet, 02 no of Drinking water troughs, 01 no of Atrium, 02 no of Exhibit/Gallery Space.
4 th floor	01 no of Staff Room, 08 nos of Classrooms, 01 no of Seminar Room, 01 no of Girls Toilet, 01 no of Gents Staff Toilet, 01 no of Ladies Staff Toilet, 01 no. of Boys Toilet, 01 no. of Handicap Toilet, 02 no of Drinking water troughs, 01 of Atrium.
5 th floor	01 no of Staff Room, 08 nos of Classrooms, 01 no of Seminar Room, 01 no of Girls Toilet, 01 no of Gents Staff Toilet, 01 no of Ladies Staff Toilet, 01 no of Boys Toilet, 01 no. of Handicap Toilet, 02 no of Drinking water troughs, 01 no of Atrium, 02 no. of Exhibit/Gallery Space.
6 th floor	01 no of Physical Education Room, 01 nos of Seminar Room, 01 no of Computer Laboratory, 01 no. of Library, 01 no. of Science Laboratory, 01 no. of Virtual Classroom, 1 no. of Art and Crafts Room, 01 no of Girls Toilet, 01 no of Gents Staff Toilet, 01 no of Ladies Staff Toilet.



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Date: 29/09/17
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Toilet, 01 no of Boys Toilet, 01 no. of Handicap Toilet, 02 no of Drinking water troughs, 01 no of Atrium

The building plot abuts 18.30 M wide existing D.P. Road on North side and 12 m. wide D.P. Roads on West, South & East sides.
The open spaces has been provided as under:-

Side	Building to Plot
North	6 M. + Play ground
South	6 M + 12 M wide existing road
East	6 M + 12 M wide existing DP road
West	6 M + 12 M wide existing road

The details of Staircase:

Staircase	Width	No's of staircases
Leading from Ground level to Terrace level	2.00 mtr	02 Nos

The proposed staircase as shown in plans is enclosed type and are externally located & adequately ventilated to outside air.

The details of lifts:

Lifts Type	Profile	Nos
Passenger	Leading from Ground floor to top floor	02 Nos

The lift lobby at each floor level is ventilated by means of an atrium as shown in the plan. One of the lift shall be converted into fire lift.

The proposal has been considered favorably in view of the facts that:

- A) The building is having access by 18.30 M wide existing D.P. road on northern side, 12m. wide D.P. Roads on West, South & East sides of the plot.
- B) Automatic sprinkler system will be provided in the entire buildings including each room each flat, lift lobby and common passage at each floor level.
- C) The proposed D.P Roads shall be completely developed before applying for OC otherwise this NOC shall be treated as cancelled.
- D) During construction stage and prior to final occupation party agreed to comply with additional requirements stipulated by Mumbai Fire Brigade Officer if any in future.

In view of above, as far as this department is concerned there would be no objection for construction of proposed High-rise Municipal School building comprising of Ground floor + 1st to 6th upper floors with total height of 28.20 meters from general ground level up to terrace level, as per the details shown on the enclosed plans, signed in token of approval, subject to satisfactory compliance of the following fire safety requirements;

- 1) **ACCESS:**
 - i) All access & fire tender access should be free of encumbrances.
 - ii) Entrance gate if provided shall be of not less than 6.00 meters width each shall be provided, at locations marked on the plan. Archways, if any over the entrance gates, shall have height clearance of not less than 5.00 M.
- 2) **COURTYARDS:**
 - i) The available courtyards on all the sides of the building, sloping excess road & podium top shall be paved suitably to bear the load of fire engines weighing up to 48 metric tons each with a point load of 10 Kgs/sqm.
 - ii) All the courtyards shall be in one plane.
 - iii) Parking shall not be permitted in courtyards & drive ways of Fire appliances.



- iv) Courtyards shall be kept free from encumbrances & encroachments
 v) No structure of any type shall be permitted in courtyards of the building.
 vi) There shall not be any trees obstructing fire appliances reach in compulsory open spaces required as per DCR.

3) **PROTECTION TO STRUCTURAL STEEL:**

- i) All the structural steel members i.e. columns, beams etc., shall be protected with the 02 hours fire resisting materials and methods as stipulated under IS 1942-1960 as application for residential building.
 ii) A certificate to that effect that the fire resistance protection has been provided as above shall be furnished from the Structural Engineer as the time of application for occupying the building.

4) **STAIRCASE:**

- i) The layout of staircase shall be enclosed type and flight width of staircase shall be as shown on plan and shall be approached (gained) at each floor level at least two hours fire resistant self-closing door (45 mm. thickness) placed in the enclosed wall of the staircase.
 ii) Externally located staircases adequately ventilated to outside air.
 iii) Permanent vent at the top equal to 5 % of the cross sectional area of the staircase shall be provided.
 iv) Openable sashes or R.C.C. grills with clear opening of not less than 0.5 sq. meters per landing on the external wall of the staircase shall be provided.
 v) Structural steel members connected to staircase shall be protected with fire retardant coatings.
 vi) No combustibles shall be kept or stored in staircases / passages.
 vii) The staircase should not be encroached by shoe-rack, decorative items, earthen spots etc.

Terrace Staircase:

- The staircase door shall be provided in the following manner:
 i) The top half portion of the doors shall be provided with louvers.
 ii) The latch- lock shall be installed from the terrace side at the height of not more than 1 meter.
 iii) The glass front of 6 inch diameter with the breakable glass shall be provided just above the latch lock, so as to open the latch in case of an emergency by breaking the glass.
 iv) The door shall either be fitted with magnetic lock connected to console & detection system or shall be synchronized with fire detection and alarm system.

5) **CAR PARKING:**

- i) Car parking shall be permitted in the designated area.
 ii) Drainage of the car parking area of all the levels shall be laid independent from that of the buildings & it shall be provided with catch pit & fire trapped before connecting the building drainage or Municipal drainage.
 iii) Drainage of the car parking areas at all the levels shall be so laid as to prevent any overflow in the staircase, lift shaft etc.
 iv) Repairing / servicing of cars, use of naked light shall not be permitted in the car parking areas.
 v) Dwelling, use of naked light / flame, repairing / maintenance of vehicles shall be strictly prohibited in the parking area.
 vi) The driveways shall be properly marked and maintained unobstructed, properly illuminated signage shall be provided for escape route

6) **ELECTRIC CABLE, SHAFT AND ELECTRIC METER ROOM:**

- i) Electrical cable shaft shall be exclusively used for electric cables and should not be open in staircase enclosure



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- ii) Inspection door for the shaft shall have two hours fire resistance.
- iii) Electrical shafts shall be sealed at each floor level with non-combustible material such as vermiculite concrete. No storage shall be permitted in electric cabin or shaft.
- iv) Electric wiring / cable shall be of non-toxic, non-flammable, low smoke hazard having copper core / fire resistance for the entire building with provision of ELCB/MCB.
- v) Electric meter room shall be provided at location marked on the plans. It shall be adequately ventilated & easily accessible.
- vi) Electric wiring shall be having copper core having the fire resistance and low smoke hazard cables for the entire building with provision of ELCB/MCB.
- vii) Low and medium voltage wiring running in shaft and in false ceiling should run in separate conduits.
- viii) Water mains, telephone lines, intercom lines, gas pipes or any other services should not be laid in the duct for electric cable; use of bus bar/solid rising mains instead of cables is preferred.
- ix) Separate circuits for firefighting pumps, lifts, staircases and corridor lighting and blowers for pressurizing system shall be provided directly from the main switch gear panel and these circuits shall be laid in separate conduit pipes so that fuse in one circuit will not affect the others. Such circuits shall be protected at origin by an automatic circuit breaker with its no-volt coil removed.
- x) Master switches controlling essential service circuit shall be clearly labeled & provide in the lobby for emergency operations.

7) CORRIDOR / LIFT LOBBY:

- i) Corridor / lift lobby at each floor level shall be naturally ventilated to outside air, as shown on the plan.
- ii) This natural ventilation shall not be blocked / obstructed by partition etc.
- iii) The common corridor / lift lobby at each floor level shall be kept free from obstructions at all times.
- iv) Proper signages for way to staircase, escape routes, staircase, floor nos. etc. shall be provided at each floor of building.
- v) Portable lights / insta lights shall be provided at strategic locations in the staircase and lift lobby.

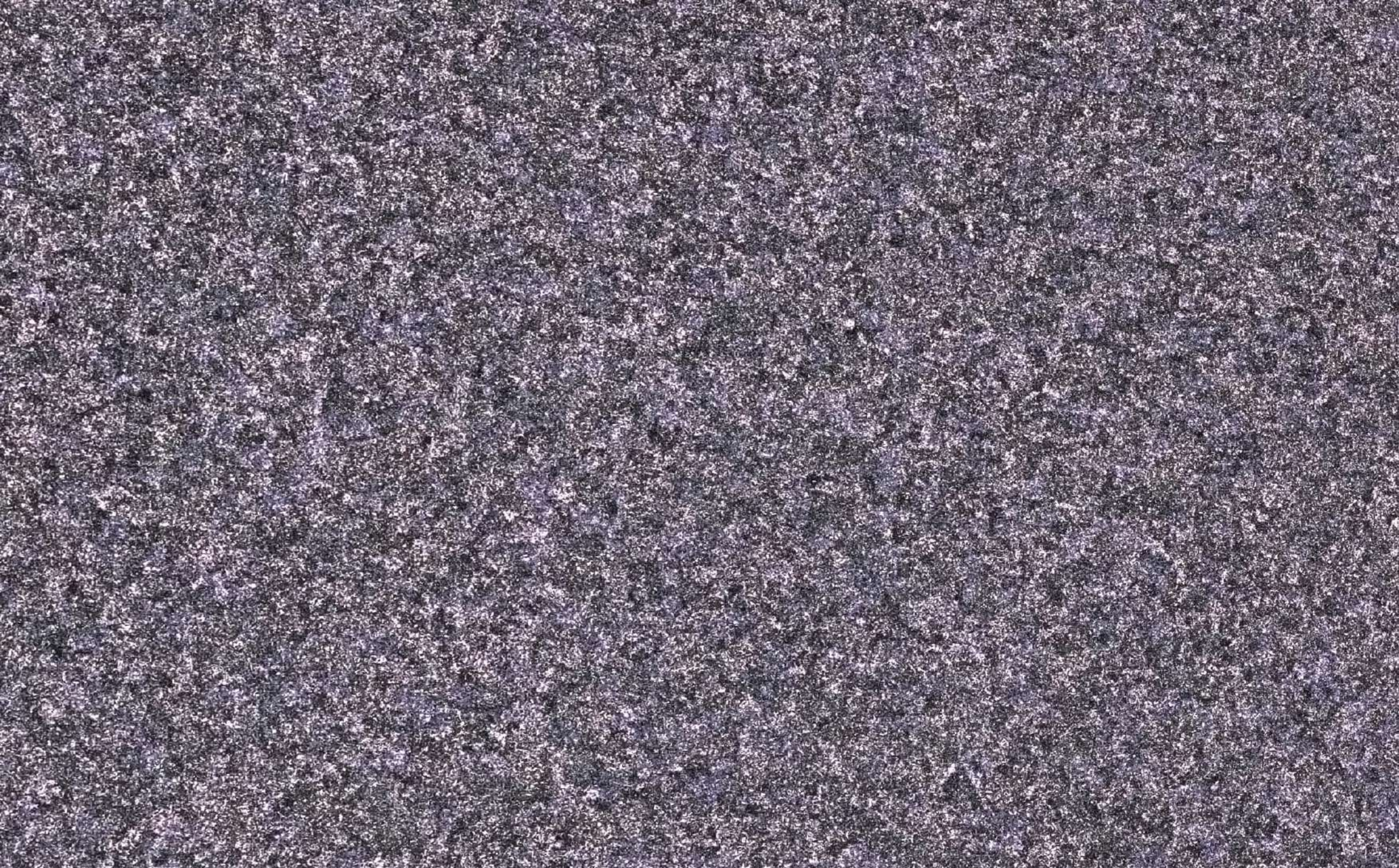
8) LIFTS:

- i) Walls enclosing lift shaft shall have a fire resistance of not less than two hours.
- ii) Shafts shall have permanent vent of not less than 0.2 sq. meters in clear area immediately under the machine room.
- iii) Landing doors and lift car doors of the lifts shall be of steel shuttered with fire resistance of one hour. No collapsible shutter shall be permitted.
- iv) One of the lift shall be converted into fire lift and shall be as per specifications laid down under the regulations, a toggle switch shall be provided to this lift for the use of Firemen.
- v) Threshold of non-combustible material shall be provided at the entrance of each landing door.

A. FIRE LIFT / FIREMAN LIFT:

- a. To enable fire services personnel to reach the upper floors with the minimum delay, one fire lift within the building from each lift bank shall be provided, and shall be available for the exclusive use of the firemen in an emergency.
- b. The lift shall have a floor area of not less than 1.4 sq. meters. It shall have loading capacity of not less than 545 kgs (8 persons lift) with automatic closing doors of minimum 0.8 m. width.
- c. The electric supply shall be on a separate service from electric supply mains in a building and the cables run in a route safe from fire i.e. within the lift shaft. Light &





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fans in the elevators having wooden paneling or sheet steel construction shall be operated on 24 volt supply.

d. Fire lift should be provided with a ceiling hatch for use in case for emergency. So that when the car gets stuck up, it shall be easily openable.

e. In case of failure normal electric supply, it shall automatically changeover to alternate supply. For apartment houses, this changeover of supply could be done through manually operated changeover switch. Alternatively, the lift shall be so wired that in case of power failure, it comes down at the ground level and comes to stand-still with door open.

f. The operation of fire lift should be by a simple toggle or two - button switch situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on a priority control device. When the switch is off, the lift will return to normal working. This lift can be used by the occupants in normal times.

g. The words 'Fire lift' shall be conspicuously displayed in fluorescent paint on the lift landing doors at each floor level.

h. The speed of the fire lift shall be such that it can reach the top floor from ground level within one minute.

i. Fire lift shall be constructed as per prevailing standard.

9) **STAIRCASE AND CORRIDOR LIGHTINGS:**

- a. The staircase and corridor lighting shall be on separate circuits and shall be independently connected so that they could be operated by one switch installation on the ground floor easily accessible to fire fighting staff at any time irrespective of the position of the individual control of the light points, if any.
- b. Staircase and corridor lighting shall also be connected to alternate supply.
- c. Double throw switches should be installed to ensure that lighting in the staircase and the corridor do not get connected to two sources of supply simultaneously. A double throw switch shall be installed in the service room to terminate the stand-by-supply.
- d. Emergency lights shall be provided in the staircases/corridors.

10) **OFFICE / CLASSROOM ENTRANCE DOORS:**

- i) Office / Classroom entrance and enclosed kitchen doors, if any, shall be of solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness) & increase the fire resistance rating beyond N.B.C. provisions by half an hour after every 70 meters height.
- ii) The fire resistance rating for staircase F.R.D., Lift lobby / protected lobby & the lift doors as per N B C. provisions.

11) **FALSE CEILING:**

False ceiling if provided in the building shall be of non-combustible material. Similarly, the suspenders of the false ceiling shall be of no combustible materials.

12) **MATERIALS FOR INTERIOR DECORATION/FURNISHING:**

The use of materials which are combustible in nature and may spread toxic fume/gases should not be used for interior decoration/furnishing, etc

13) **FIRE FIGHTING REQUIREMENTS:**

a. **Underground static water storage tank--**

An underground water storage tank of capacity 1,00,000 liters shall be provided at location marked on the plan, as per the design specified in the rules with baffle wall and fire brigade collecting breaching. The layout of which shall be got approved from H.E's department prior to erection. The tanks shall be connected to sprinkler system.



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 10/11/2017
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- b. Overhead (terrace) water storage tank:-**
A tank of 20,000 liters capacity shall be provided at terrace level of each wing. The layout of which shall be got approved from H.E. a department prior to erection and gate valve.
- c. Wet riser -**
A Wet Riser of G.I. class of 15 cms. Dia shall be provided in the lift lobby with double hydrant outlet and hose reel on each floor in such a way as not to obstruct the width of the corridor as shown on plan. Pressure reducing discs in offices. Wet riser outlet and hose reel so as not to exceed pressure of 5.5 kgs / sq. cms. basements & podiums.
- d. Fire Service Inlet:-**
- A fire service inlet on the external face of the building near the tank directly fronting the courtyards shall be provide to connect the mobile pump of the fire service independently to the wet riser, sprinkler system of the building
 - Breeching connection inlet shall be provided to refill U/G tank
 - Operating switches of the pumps shall be also provided in glass fronted boxes at ground floor
- e. Automatic sprinkler system:-**
- Automatic sprinkler system will be provided in the entire buildings including each CLASSROOM lift lobby and common passage at each floor level of the building.
 - Automatic sprinkler system shall be installed as per the standard laid down by N.B.C. and relevant IS specification
- f. Automatic smoke detection system:-**
Automatic smoke detection system shall be provided in electric meter room & lift machine room & in electric shaft at every floor level with response indicator at building and same should be connected to main console panel on ground floor level as per IS specification.
- g. Fire pump, booster pump, sprinkler pump and jockey pump:-**
- Wet riser shall be connected to a separate fire pump at ground level U/G Tank and also at terrace level of capacity 1200 liters per minute capacity each or giving pressure of not less than 3.2 kgs. / Sq. cms at the topmost hydrant outlet along with jockey pump of suitable size.
 - Booster pump of 900 liters/min. capacity giving a pressure of not less than 3.2 kgs / sq cms at the top most hydrant out let of the wet-iser shall be provided at the terrace level of each wing
 - A separate sprinkler pump along with a jockey pump shall be provided for automatic sprinkler system
 - Electric supply (normal) to these pumps shall be on independent circuit
 - Separate jockey pump at ground as well as on terrace shall be provided to Wet riser system to keep system pressurized
 - Operating switches for booster pumps shall be also provided in glass fronted boxes in lift lobbies on each floor.
 - Operating switches for pumps shall be also provided in glass fronted boxes in lift lobbies on each floor at prominent place.
 - Only surface mounted pump or vertical turbine pumps shall be installed for firefighting.
- h. External Hydrants:-**
Courtyard hydrants shall be provided within the confines of the wet-iser, to every 50 meters distance around entire building. Hose boxes, each with two hoses of



length 50 feet RRL standard size and branch shall be kept and equally distributed in courtyard area.

- i. **Alternate source of power supply or D.G. Set -**
An alternate source of L.V. /H.V. supply from a separate sub-station OR D.G. Set with appropriate change over switch shall be provided for fire pump, fire lift staircase, corridor lighten circuits, sprinkler pump, jockey pump, fire alarm & fire detection system, integrated system, voice evacuation system, public address system etc. It shall be housed in a separate cabin.

j. **Portable fire extinguishers:**

- One Dry Chemical Powder (ABC) type fire extinguisher of 6 kgs. capacity having I.S.I. certification mark and two buckets filled with dry, clean sand shall be kept in each Electric meter Room and Lift Machine room.
- One dry chemical powder (ABC) type fire extinguisher of 6 kgs capacity having I.S.I. certification mark and one buckets of dry, clean sand shall be kept on each floor of each building.
- One Dry Chemical Powder fire extinguisher ABC type of 6 kgs. Capacity each shall be kept for every 100 sq. meters area in car parking areas on ground floor.

- k. **Fire alarm system / Fire detection system:**
Automatic smoke detection system shall be provided in electric meter room & lift machine room & corridor / lift lobby at each floor level.

l. **Public address system:**

The entire building shall be provided with public address system as per the rules with main control operator at console panel at ground floor area.

m. **Fire drills / evacuation drills:**

Fire Drills and evacuation drills shall be conducted regularly in accordance with fire safety plan of building at least once in a three month in consultation with Mumbai Fire Brigade and log of the same shall be maintained.

n. **Service duct:**

- All service ducts shall have 2 hr. fire resistance.
- Inspection door of the service ducts shall have 2 hr. fire resistance.
- Duct for water service, drainage line, shall be separate from that of electrical cable duct.

o. **Trained officer / security guards:**

- The trained security / fire supervisor along with trained staff having basic knowledge of firefighting & fix firefighting installation shall be provided / posted in the building. They will be responsible for the following:
 - Maintenance of all the first aid firefighting equipment, fixed installations & other fire-fighting equipment / appliance in good working condition at all times.
 - Imparting training to the occupants of the building in the use of firefighting equipment provided on the premises & kept them informed about the fire & other emergency evacuation procedures.
- To liaise with the City Fire Brigade on regular & continual basis.

p. **Signages:**

Self-glowing/fluorescent exit signs in green color shall be provided showing the means of escape for each tower.

The architect vide his letter dated 16.05.2017 has certified the gross built up area as 5,663.79 sq. mtrs, however the said proposal is of the education department MCGM (SIC) and hence the education department shall make necessary book adjustment of Rs. 2,43,552/- towards the budget head of this department.



However, E.E.B.P. (Sp. Cell) is requested to verify the total built-up area and inform this department, if the same is found to be more for the purpose of levying additional scrutiny fees, if required.

Notes:

- I. The fire-fighting installation shall be carried out by licensed approved agency.
- II. The area calculation shown in the enclosed plan shall be checked by the E.E.B.P. (Sp. Cell).
- III. MEP consultants shall verify & examine the size & area of duct provided to sprinklers, wet riser, detection system, etc.
- IV. The schematic drawings/plans of active fire safety measures recommended by this department in the NOC i.e. Sprinkler system, smoke detection System, Wet riser system, Public Address system etc. shall be submitted and got approved from CFO prior to installation.
- V. E.E.B.P. (Sp. Cell) shall verify the proposal in context with Hon. M.C.'s circulars issued u/n. Ch.E./32545/DP-Gen dated 24/02/2015 & u/n Ch.E/34194/DP/Gen dated 10/03/2015 and verify the compliance as per the above said circulars. If the same is not complied with, this proposal shall be referred back to this department for issuing fresh NOC.
- VI. E.E.B.P. (Sp. Cell) requested to scrutinized the plans as per amended DCR & verify civil work and all other requirements pertaining to civil Engineering side including open spaces, corridors, staircases, amendments, height, refuge area in sq. meters & floor occupancy of the building. E.E.B.P. (Sp. Cell) is also requested to verify 6.00 meters wide open space & R.G. as per the Directives of Hon. M.C.'s office order No. MGC/A/6647 dated 23.12.2013 & orders of Hon. Supreme Court. And if these plans given open space & R.G. is not approvable then this NOC shall be treated as cancelled & refer back to this department for revised NOC also till then further process of issuing IOD & C.C. shall not be permitted.
- VII. The proposed D.P Roads shall be completely developed before applying for O.C. or else the NOC shall be treated as cancelled.
- VIII. This N.O.C. is issued from fire risk point of view only.

Chief Fire Officer,
Mumbai Fire Brigade

Vinod KATANA

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MUNICIPAL CORPORATION OF GREATER MUMBAI

No. Dy.C.E./S.I.C./ / Dy.M.A. dtd. 07-10-2017

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A.E. (B.P.SPL Cell) S ward

Sub: - Proposed construction of Municipal School on plot bearing CTS no.301 of Hariyali Village at Vikhroli East, S Ward, Mumbai.

Ref.: - Letter from Asst. Engineer (Maint.) 'S' Ward u/no. ACS/23935/AEMS dated. 07.10.2017

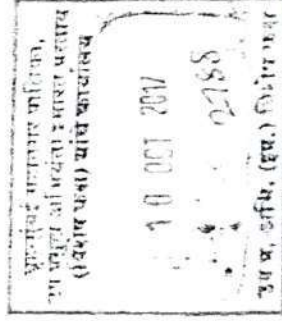
Reference is requested to the document given vide above referred letter received from A.E. (Maintenance) 'S' ward, regarding above mentioned plot ownership / possession. Copy of the same are enclosed herewith for information and processing the proposal please.

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7.10.17

Dy. Municipal Architect

(School Infrastructure Cell)

- (Accompanied 1. Plot Area Certificate
- 2. Plans & Sections (Revised Set)



SECRETED AND FILED IN
 MUNICIPAL CORPORATION
 MUMBAI



C-175

MUNICIPAL CORPORATION OF GREATER MUMBAI

No. ACS/22995/AEMS
Date: 07/10/2015

Sub: -Proposed construction of Municipal School on plot bearing
CTS no. 301 of Hariyali Village at Vikhroli (E) 'S' Ward

Ref: - Dy.C.E./S.I.C/8611/Dy.M.A. dt. 06.10.2017.

With reference to above subject matter a letter mention in reference is received by this office for available documents related to on plot bearing CTS no. 301 of Hariyali Village at Vikhroli (E) 'S' Ward.

In this regards this is to inform that, as per available record (property register) available with this office it is seen that, the said plot is handed over to MCGM but possession receipt of same is not found after diligent search.

This office has forwarded a letter to MHADA for requesting issuance of copy of possession receipt. Same will be forwarded if made available by MHADA. However said plot is in possession of MCGM.


Asstt. Engineer (Maint) 'S' Ward

Dy. Municipal Architect
(School Infrastructure Cell)

